



Administrative Approval Action

Case File / Name: ASR-SR-30-2019
City of Raleigh Fire Station #22

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 1.97 acre site is located on the north side of Durant Road between Camp Durant Road and Deponie Drive at 10050 Durant Road.
- REQUEST:** Development of a 1.97 acre recombined site zoned IX-3-PK, and within a Urban Watershed Protection Overlay District into a 15,765 square foot civic use (City of Raleigh Fire Station #22) with associated infrastructure. One Hardship Variance and One Design Adjustment have been approved for this project, noted below.
A-128-2019 (Design Adjustments for the following)
An alternative street scape cross section waiving the requirement for the 5' utility easement (8.5.1 B 1 a, and 8.4.6 B), waiving dedication of additional right of way width (8.5.1 B 1 and 8.4.6 B), and waiving of the required C2 street yard 8.5.1 B 1 A, and 8.4.6 B) . Also approved was a reduction in the driveway spacing standard. (8.3.5 C 3 C)
A-129-19 (Hardship Variances for the following)
Allowance of a stormwater conveyance device within the protective yard (3.4.3 F), as well as an amenity area within a protective yard (3.4.3 F)
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** SPR-0081-2020: DSLC - Site Permitting Review/Major [Signature Set]
- FINDINGS:** **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 14, 2020 by CLH design.**

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
5. Prior to commencing land disturbing activities, a mass grading permit will be required. (UDO 9.4.6)

Urban Forestry

6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded prior to the issuance of building permits

Stormwater

2. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

3. A wooded area plat shall be recorded with metes and bounds showing the designated wooded areas (UDO 9.1.9).

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all wooded areas by Urban Forestry Staff.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review



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approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: March 10, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 03/10/2020
Development Services Dir/Designee

Staff Coordinator: Michael Walters

CITY OF RALEIGH FIRE STATION #22 SITE PLAN

10050 DURANT ROAD
RALEIGH, NC 27614
ASR-SR-30-19 (TRANSACTION #595309)



OWNER CONTACT

OWNER: CITY OF RALEIGH
OWNER CONTACT: STEPHANIE SEEBER
ADDRESS: 219 FAYETTEVILLE STREET, STE. 801, RALEIGH, NC 27601
PHONE: 919-996-5579
EMAIL: STEPHANIE.SEEBER@RALEIGHNC.GOV

PROJECT TEAM

ARCHITECTURAL
DAVIS KANE ARCHITECTS, P.A.
503-300 OBERLIN ROAD
RALEIGH, NC 27605

CIVIL ENGINEERING AND
LANDSCAPE ARCHITECTURE
CLH DESIGN, PA
400 REGENCY FOREST DR., STE. 120
CARY, NC 27518



PROJECT INFORMATION

CITY OF RALEIGH
FIRE STATION NO. 22
REPLACEMENT
CITY OF RALEIGH CM84-17
10050 Durant Road, Raleigh, NC 27614

SEALS

PRELIMINARY
NOT FOR CONSTRUCTION

DKA JOB NUMBER
1730

REVISIONS

ATTENTION CONTRACTORS
The Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for obtaining the Public Works Department at (919) 996-2400, and the Public Utilities Department at (919) 996-2450 at least twenty-four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

PA: ZRP
PM: ST, YLA, DAL
Drawn By:
Plot Date:

DATE ISSUED
02/12/2020

SHEET TITLE

COVER
C-0.0

INDEX OF DRAWINGS

CIVIL	C-6.0	LANDSCAPE PLAN
C-0.0	C-7.2	SITE DETAILS
C-1.0	C-7.3	SITE DETAILS
C-2.0	C-7.4	SITE DETAILS
C-3.0	C-7.5	SITE DETAILS
C-3.1A	C-7.6	SITE DETAILS
C-3.1B	C-7.7	SITE DETAILS
C-3.2A	C-7.8	SITE DETAILS
C-3.2B	C-7.9	SITE DETAILS
C-3.3A	C-7.10	SITE DETAILS
C-3.3B	C-7.11	SITE DETAILS
C-3.4A		ARCHITECTURAL
C-3.4B		A-2.0 ELEVATIONS
C-5.0		

BOARD OF ADJUSTMENT APPROVED ITEMS CASE #S: A-128-19 AND A-129-19

1. PARKWAY FRONTAGE PROTECTIVE YARD VARIANCE APPROVALS (CITY OF RALEIGH BOARD OF ADJUSTMENT CASE# A-129-19)
1.1. VARIANCE REQUEST 1: PARKWAY FRONTAGE PROTECTIVE YARD (STORMWATER CONVEYANCE ENCROACHMENT) UDO SECTION 3.4.3.F
1.2. VARIANCE REQUEST 2: PARKWAY FRONTAGE PROTECTIVE YARD (AMENITY AREA ENCROACHMENT) UDO SECTION 3.4.3.F.
UDO SECTION 3.4.3.F. - PARKWAY FRONTAGE PROTECTIVE YARD (ENCROACHMENTS) THE PROPERTY HAS FRONTAGE ALONG DURANT ROAD. PURSUANT TO THE UDO, THE PROPERTY'S FRONTAGE ALONG DURANT ROAD IS SUBJECT TO THE UDO'S PARKWAY FRONTAGE ("PK") PROTECTIVE YARD REQUIREMENTS (UDO SECTION 3.4.3). THIS REQUIRES THE PROPERTY TO MAINTAIN A 50-FOOT, LANDSCAPED PROTECTIVE YARD. THE PROJECT PROPOSES TO LOCATE WITHIN THE PROPERTY'S PK PROTECTIVE YARD: 1) DRAINAGE PIPING AND AN OPEN CHANNEL (THE DRAINAGE PIPING AND OPEN CHANNEL HEREINAFTER COLLECTIVELY REFERRED TO AS THE "STORMWATER CONVEYANCE") WHICH WILL CONVEY STORMWATER TO THE DRAINAGE SYSTEM IN DURANT ROAD; AND 2) A REQUIRED AMENITY AREA. SECTION 3.4.3.F. OF THE UDO LISTS ALLOWED ENCROACHMENTS WITHIN THE PK PROTECTIVE YARD AREA AND DOES NOT SPECIFY THESE ITEMS AS ALLOWED ENCROACHMENTS. THUS, TO CONSTRUCT THE PROJECT, THE CITY IS REQUESTING VARIANCES FROM THE REQUIREMENTS OF UDO SECTION 3.4.3.F. TO ALLOW: 1) STORMWATER CONVEYANCE TO BE LOCATED WITHIN THE PK PROTECTIVE YARD; AND 2) AN AMENITY AREA TO BE LOCATED WITHIN THE PK PROTECTIVE YARD.

2. BLOCKS, LOTS AND ACCESS DESIGN ADJUSTMENT APPROVAL (CITY OF RALEIGH BOARD OF ADJUSTMENT CASE# A-128-19)
2.1. DESIGN ADJUSTMENT 1: DRIVEWAY SPACING. UDO SECTION 8.3.5.C.3.C.
UDO SECTION 8.3.5.C.3.C. - DRIVEWAY SPACING
THE RIGHT OF WAY WIDTH FOR DURANT ROAD ALONG THE PROPERTY'S FRONTAGE IS MORE THAN 80- FEET WIDE. PER UDO SECTION 8.3.5.C.3.C., WHEN THE STREET ROW IS MORE THAN 80- FEET WIDE, DRIVEWAYS MUST BE SPACED 300 FEET OR MORE CENTERLINE TO CENTERLINE FROM OTHER DRIVEWAYS. THE PROJECT PROPOSES TWO (2) NEW DRIVEWAYS ON DURANT ROAD FROM THE PROPERTY TO ALLOW TRUCKS TO ENTER AND EXIT THE PROPERTY ONTO DURANT ROAD USING A CIRCULAR INTERNAL DRIVE. THE LOCATION OF THE FIRST PROPOSED DRIVEWAY IS APPROXIMATELY 83 FEET FROM AN EXISTING DRIVEWAY LOCATED ADJACENT TO AND PARTIALLY ON THE PROPERTY FOR THE BENEFIT OF BOTH THE PROPERTY AND THE ADJOINING PROPERTY TO THE EAST WHICH HAS BEEN DEVELOPED AS A DAY CARE FACILITY. ALL PURSUANT TO A JOINT DRIVEWAY AGREEMENT RECORDED IN BOOK 6794, PAGE 312, WAKE COUNTY REGISTRY (THE EXISTING DRIVEWAY). THE CITY HAS NO INTENTION OF UTILIZING THE EXISTING DRIVEWAY BECAUSE OF THE INCOMPATIBILITY OF A FIRE STATION AND A DAY CARE FACILITY USING THE SAME DRIVEWAY. THE LOCATION OF THE SECOND PROPOSED DRIVEWAY IS APPROXIMATELY 207 FEET FROM THE EXISTING DRIVEWAY, AND APPROXIMATELY 124 FEET FROM THE FIRST PROPOSED DRIVEWAY. IN ORDER TO CONSTRUCT THE PROJECT, THE CITY IS REQUESTING DESIGN ADJUSTMENTS FROM UDO SECTION 8.3.5.C.3.C. TO ALLOW: 1) A NEW DRIVEWAY ON THE PROPERTY TO BE LOCATED 83 FEET FROM THE EXISTING DRIVEWAY AND 124 FEET FROM THE SECOND NEW APPARATUS DRIVEWAY ON THE PROPERTY; AND 2) A SECOND NEW APPARATUS DRIVEWAY ON THE PROPERTY TO BE LOCATED 207 FEET FROM THE EXISTING DRIVEWAY AND 124 FEET FROM THE FIRST NEW DRIVEWAY ON THE PROPERTY.

3. STREET VARIANCE DESIGN ADJUSTMENT APPROVAL (CITY OF RALEIGH BOARD OF ADJUSTMENT CASE# A-128-19)
3.1. DESIGN ADJUSTMENT 2: UTILITY PLACEMENT EASEMENT. UDO SECTIONS 8.5.1.B.1.A & 8.4.6.B
3.2. DESIGN ADJUSTMENT 3: ADDITIONAL RIGHT OF WAY DEDICATION. UDO SECTIONS 8.5.1.B.1.A & 8.4.6.B
3.3. DESIGN ADJUSTMENT 4: STREET TREES / TYPE C2 STREET PROTECTIVE YARD. UDO SECTIONS 8.5.1.B.1.A, 8.5.1.D & 8.4.6.B
UDO SECTIONS 8.5.1.B.1.A, 8.5.1.D, AND 8.4.6.B - EXISTING STREETS
PURSUANT TO UDO SECTION 8.5.1.B.1.A., THE PROJECT IS REQUESTING TO MEET THE STREET TYPE AND STREETScape STANDARDS SET FORTH IN THE UDO FOR EXISTING STREETS. THE PROPERTY FRONTS DURANT ROAD, WHICH IS AN AVENUE 4-LANE, DIVIDED ROAD. THE STREET TYPE AND STREETScape STANDARDS FOR DURANT ROAD ARE SET FORTH IN UDO SECTION 8.4.6.B. THE CITY IS REQUESTING DESIGN ADJUSTMENTS FROM UDO SECTION 8.5.1.B.1.A. TO ALLOW THE PROJECT TO BE CONSTRUCTED: 1) WITHOUT DEDICATING A FIVE-FOOT UTILITY PLACEMENT EASEMENT; AND 2) WITHOUT DEDICATING ADDITIONAL RIGHT OF WAY WIDTH (THE EXISTING RIGHT OF WAY WIDTH IS 87.91 FEET; PER THE UDO, THE REQUIRED RIGHT OF WAY WIDTH IS 104 FEET). THE CITY IS ALSO REQUESTING A DESIGN ADJUSTMENT FROM UDO SECTION 8.5.1.B.1.A. & 8.5.1.D., TO ALLOW THE PROJECT TO BE CONSTRUCTED WITHOUT THE INCLUSION OF EITHER STREET TREES OR A TYPE C2 STREET PROTECTIVE YARD. PER UDO SECTION 8.4.6.B., THE STREETScape REQUIREMENTS INCLUDE STREET TREES. PER UDO SECTION 8.5.1.D., SINCE THE PROPERTY ABUTS A NC DOT CONTROLLED STREET (DURANT ROAD), STREET TREES MAY NOT BE REQUIRED, IN THE DISCRETION OF NC DOT. HOWEVER, IN THAT CASE, A TYPE C2 STREET PROTECTIVE YARD IS REQUIRED, PURSUANT TO UDO SECTION 8.5.1.D.4.]

Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext. 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Transaction Number Assigned Project Coordinator Assigned Team Leader
<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot <input checked="" type="checkbox"/> Civic Use	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: City of Raleigh Fire Station #22
 Zoning District: IX-3-PK Overlay District (if applicable): Inside City Limits? Yes No
 Proposed Use: Civic (Fire Station)
 Property Address(es): 10050 Durant Road, Raleigh, NC 27614 Major Street Locator: Durant Road
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
 P.L.N. 1728338865
 What is your project type?
 Apartment Non-Residential Condo Hospital Hotel/Motel Office
 Mixed Residential School Shopping Center Bank Industrial Building
 Duplex Telecommunication Tower Religious Institution Residential Condo Retail Cottage Court
 Other: If other, please describe: Civic (Fire Station)

WORK SCOPE: Per City Code Chapter 10.2.B.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Construction of a new fire station building and associated site improvements including, but not limited to parking, sidewalks, driveways, temporary erosion control devices, stormwater detention devices, utility connections, and landscaping.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE. UDO Section 7.1.2.B. Parking Administrative Alternate - Instead of the 25 spaces required by the UDO, 18 spaces are appropriate for the specific parking needs of this proposed use and scale.

CLIENT/DEVELOPER/OWNER
 Company: City of Raleigh Name(s): Stephanie Seeber
 Address: 219 Fayetteville St., Suite 801, Raleigh, NC 27601
 Phone: 919-996-5579 Email: stephanie.seeber@raleighnc.gov Fax:

CONSULTANT (Contact Person for Plans)
 Company: CLH Design, P.A. Name(s): Zak Pierce
 Address: 400 Regency Forest Drive, Suite 120, Cary, NC 27518
 Phone: 919-319-6716 Email: zpierce@clhdesignpa.com Fax: 919-319-7516

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DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning District(s) IX-3-PK	Proposed building use(s) Fire Station
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross N/A
Overlay District: PK, UWFOOD	Proposed Building(s) sq. ft. gross 15,765
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 15,765
Off street parking: Required 25 Provided 19 (Admin Alt.)	Proposed height of building(s) 39'-4"
COA (Certificate of Appropriateness) case #	# of stories 2
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st floor Varies, 10'-8" typ.
CUD (Conditional Use District) case # Z-	

Stormwater Information	
Existing Impervious Surface 2,350 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 32,920 acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils FEMA Map Panel #
	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwellings Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

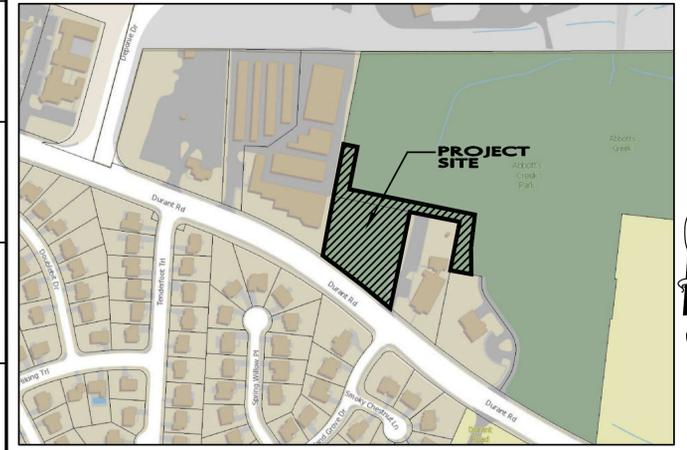
I hereby designate Zak Pierce - CLH Design, P.A. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: *[Signature]* Date: 04/26/19
 Printed Name: Stephanie S Seeber, City of Raleigh Engineering Services
 Signed: _____ Date: _____
 Printed Name: _____

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VICINITY MAP (1"=200')



ZONING CONDITIONS

- UWFOOD OVERLAY - UDO SECTION 9.1.9 REQUIRES THIS PROJECT TO PROVIDE AND MAINTAIN AN AREA SET ASIDE FOR TREES EQUAL TO AT LEAST 40% OF THE LOT AREA. ADDITIONAL PROPERTY WILL BE OBTAINED BY THE CITY AND THE SITE WILL BE RECOMBINED TO MEET THIS REQUIREMENT. THE SITE IS CURRENTLY 1.3 ACRES; .67 ACRES WILL BE OBTAINED AND RECOMBINED TO A TOTAL OF 1.97 ACRES, THUS MAKING THE TREE COVERAGE REQUIREMENT A TOTAL OF 78 ACRES. SEE LANDSCAPE PLAN C-6.0 FOR UWFOOD WOODED AREA CALCULATIONS.
- THIS SITE IS LESS THAN 2 ACRES, THUS EXEMPT FROM TREE CONSERVATION REQUIREMENTS PER UDO SECTION 9.1.2.
- PER UDO SECTION 7.1.2.B., A PARKING ADMINISTRATIVE ALTERNATE HAS BEEN APPROVED FOR THIS PROJECT TO REDUCE THE REQUIRED AMOUNT OF PARKING SPACES FROM 25 TO 18.
- PER UDO SECTION 3.4.3, THE 50 FOOT PROTECTIVE YARD MUST BE LANDSCAPED IN ACCORDANCE WITH SECTION 5.3.1.F (SHOD-1) REQUIREMENTS. NOTE THAT THE PROPERTY IS NOT IN A SHOD-1 BUFFER, BUT THE SHOD-1 PLANTING REQUIREMENTS HAVE BEEN MET PER SECTION 3.5.3.
- PER UDO SECTION 7.1.7.D.5, GSI PRACTICES MAY BE LOCATED IN INTERIOR ISLANDS AND TERMINAL ISLANDS IF PART OF AN APPROVED STORMWATER MANAGEMENT PLAN FOR THE SITE. REQUIRED SHADE TREES MAY BE PLACED WITHIN GSI PRACTICES. A MAINTENANCE PLAN MUST BE APPROVED FOR THE GSI PRACTICES ACCORDING TO SEC. 9.2.2.D.

CITY OF RALEIGH RIGHT-OF-WAY OBSTRUCTION NOTES:

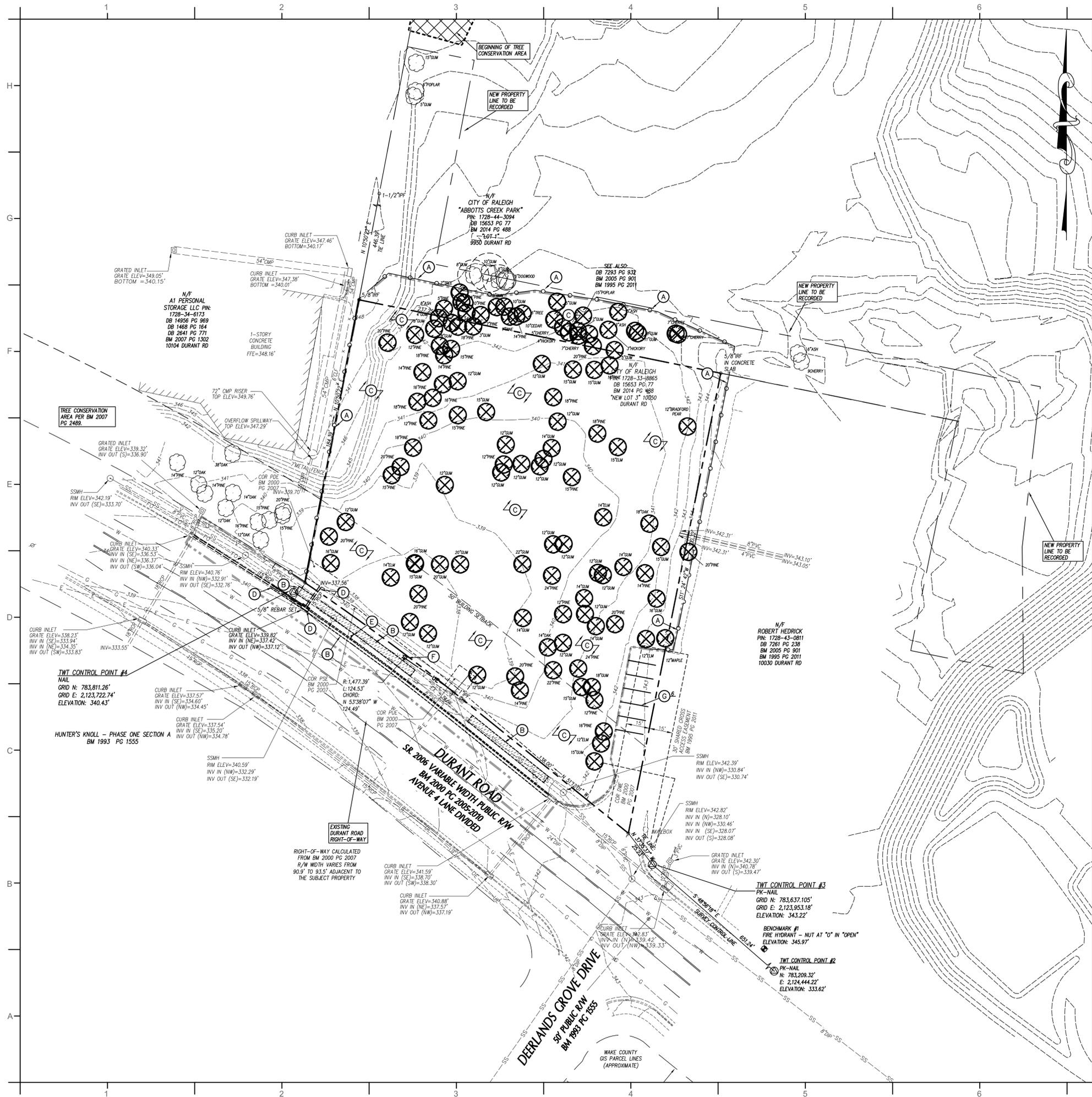
- STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. DESIGNER HAS REVIEWED AND IS COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLIDS WASTE DESIGN MANUAL.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV AT WWW.RALEIGHNC.GOV KEYWORD RIGHT-OF-WAY SERVICES.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NC DOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NC DOT STANDARD SPECIFICATION FOR ROADWAY STRUCTURES; NC DOT ROADWAY STANDARD DRAWING MANUAL; AND THE NC DOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

CITY OF RALEIGH SOLID WASTE SERVICES REQUIRED NOTES:

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.
- DESIGNER HAS REVIEWED AND IS COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLIDS WASTE DESIGN MANUAL.
- THE PROPOSED DEVELOPMENT PLANS TO USE THE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) TO HANDLE THEIR TRASH NEEDS
- ROLL-OUT TRASH AND RECYCLING RECEPTACLE WILL BE USED. NO DUMPSTERS ARE PROPOSED. THE ROLL-OUT RECEPTABLES WILL BE STORED INSIDE THE APPARATUS BAYS.

PUBLIC IMPROVEMENT QUANTITY TABLE

PHASE NUMBER(S)	PHASE 1	PHASE 2	PHASE 3
NUMBER OF LOTS(S)	1		
LOT NUMBER(S) BY PHASE	1		
NUMBER OF UNITS	N/A		
LIVABLE BUILDINGS	N/A		
OPEN SPACE?	YES		
NUMBER OF OPEN SPACE LOTS	N/A		
PUBLIC WATER (LF)	0 LF		
PUBLIC SEWER (LF)	0 LF		
PUBLIC STREET (LF) - FULL	0 LF		
PUBLIC STREET (LF) - PARTIAL	0 LF		
PUBLIC SIDEWALK (LF)	43 LF		
STREET SIGNS (LF)	0		
WATER SERVICE STUBS	0		
SEWER SERVICE STUBS	0		



DEMOLITION LEGEND

STRUCTURES/UTILITIES TO REMAIN			
OVERHEAD ELECTRICAL	---	LIGHT POLE	☆ LP
UNDERGROUND ELECTRICAL	---	UTILITY POLE	⊗ PP
FIRE PROTECTION	---	MANHOLE	⊙ MH
GAS	---	CLEAN OUT	⊙ CO
SANITARY SEWER	---	DROP INLET, CATCH BASIN	□ DI, CB
TELEPHONE	---	FIRE HYDRANT	⊕ FH
UNDERGROUND TELEPHONE	---	WATER VALVE	⊕ WV
FIBER OPTIC	---	INDIVIDUAL TREE TO REMAIN	⊙
WATER	---		
STORM DRAIN	---		

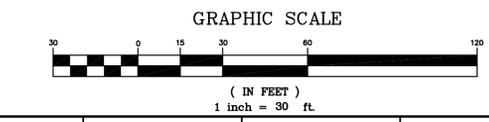
STRUCTURES/UTILITIES TO BE REMOVED			
OVERHEAD ELECTRICAL	---	LIGHT POLE	☆ LP
UNDERGROUND ELECTRICAL	---	UTILITY POLE	⊗ PP
FIRE PROTECTION	---	MANHOLE	⊙ MH
GAS	---	CLEAN OUT	⊙ CO
SANITARY SEWER	---	DROP INLET, CATCH BASIN	□ DI, CB
TELEPHONE	---	FIRE HYDRANT	⊕ FH
UNDERGROUND TELEPHONE	---	WATER VALVE	⊕ WV
FIBER OPTIC	---	INDIVIDUAL TREE TO BE REMOVED	⊗
WATER	---	PIANT, S/W, CONC. RAMPS, HANDRAILS, DECKS, C&G TO BE REMOVED.	▨
STORM DRAIN	---		

GENERAL NOTES

- ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN BOLD ON THIS PLAN SHALL BE REMOVED. UNDERGROUND ELECTRICAL LINES MAY BE ABANDONED IN PLACE OUTSIDE OF NEW BUILDING LIMITS. COORDINATE PROPER ABANDONMENT WITH UTILITY COMPANY.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, OR CURB AND GUTTER, ETC. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- EXISTING SITE SURVEY INFORMATION WAS TAKEN FROM TOPOGRAPHIC SURVEY BY MOJIM & CREED, PERFORMED 2-1-2016. THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING.
- TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2-FT DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR ROOTS.
- PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTACT UTILITY LOCATING SERVICE AT LEAST 48-HRS PRIOR TO EXCAVATION.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE. DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND GUTTER AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH DEMOLITION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK.
- THIS SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON F.I.R.M. MAP #3720172800, DATED 5-2-2006 AS BEING WITHIN ZONE "X"-OTHER AREA.

KEY NOTES

- (A) TEMP. TREE PROTECTION FENCE, SEE DETAIL SHEET C-7.10.
- (B) SAWCUT AND REMOVE EXISTING PAVEMENT.
- (C) CLEAR, GRUB, REMOVE EXISTING STUMPS, AND STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
- (D) STORM STRUCTURES TO BE REMOVED.
- (E) BUS STOP SIGN TO BE REMOVED AND RELOCATED. SEE STAKING PLAN FOR UPDATED LOCATION.
- (F) EXISTING LIGHT POLE TO BE REMOVED AND RELOCATED BY LOCAL UTILITY COMPANY.
- (G) EXISTING STRIPING TO BE REMOVED.



REVISIONS

SITE DATA

PROJECT: CITY OF RALEIGH FIRE STATION #22 REPLACEMENT
OWNER: CITY OF RALEIGH
OWNER CONTACT: STEPHANIE SEEBER, 219 W. VETTERVILLE STREET, SUITE 801, RALEIGH, NC 27601, PHONE: 919-996-5579
DESIGNER: CLH DESIGN, PA, ZAK PIERCE, ASLA, 400 REGENCY FOREST DRIVE, SUITE 120, CARY, NC 27518, PHONE: 919-319-6716, FAX: 919-319-7516
DESIGNER CONTACT: CLH DESIGN, PA, ZAK PIERCE, ASLA, 400 REGENCY FOREST DRIVE, SUITE 120, CARY, NC 27518, PHONE: 919-319-6716, FAX: 919-319-7516
PROJECT ADDRESS: 10050 DURANT ROAD, RALEIGH, NC 27614
PLANNING JURISD: RALEIGH
PIN: 1728338865
ZONING: IX-3-PK
ZONING OVERLAY: URBAN WATERSHED PROTECTION OVERLAY DISTRICT (UIMP00)
SITE ACREAGE: 1.97 ACRES (TO BE COMBINED)
OUTDOOR AMENITY REQUIRED: 10% (IX-3-PK)
PROVIDED: 8,581 SF
 6,566 SF (WITHIN PK BUFFER)
 +2,217 SF (OUTSIDE OF PK BUFFER)
 8,783 SF (TOTAL AREA PROVIDED)
EXISTING USE: VACANT (WOODED)
PROPOSED USE: CIVIC (FIRE STATION)

BLDG. GFA: 15,765SF (WITH APPARATUS BAYS)
 9,987SF (WITHOUT APPARATUS BAYS)
MAX. BLDG HEIGHT: 3 STORIES (50')
BUILDING/STRUCTURE SETBACKS:
 FROM PRIMARY STREET (MIN): 10'
 FROM SIDE STREET (MIN): 0' OR 6'
 FROM REAR LOT LINE (MIN): 0' OR 6'
 FROM ALLEY (MIN): 5'
WATERSHED: NEUSE-RICHLAND CREEK
STREAM BUFFERS: NONE
PARKING DATA STANDARD: 1 SP./400 SF GFA
SPACES REQ'D: 25 (BASED ON GFA WITHOUT APPARATUS BAYS)
SPACES PROVIDED: 19 (ADMINISTRATIVE ALTERNATE APPROVED)
HDCP REQ'D: 1
HDCP PROVIDED: 1
BIKE STANDARD: 1/5000 SF GFA (MIN 4)
SPACES REQ'D: 3 (BELOW MIN)
SPACES PROVIDED: 4 (TWO RACKS)
PERMITTING JURISDICTIONS: CITY OF RALEIGH
ZONING: NCDOT
DRIVEWAY: CITY OF RALEIGH
WATER/SEWER: NCDOT
EROSION CONTROL: NCDOT

GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST MANUAL OF "UNIFORM TRAFFIC CONTROL DEVICES."
- ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
- ALL FACE OF CURB RADI ARE 4 FT UNLESS OTHERWISE SHOWN.
- ALL STANDARD PARKING SPACES SHALL BE 9' WIDE X 18' DEEP MIN.
- VAC - VAN ACCESSIBLE PARKING SPACE SHALL BE 11' WIDE X 18' DEEP
- AC - ACCESSIBLE PARKING SPACE SHALL BE 9' WIDE X 18' DEEP
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS.
- STOPPING SIGHT DISTANCE TRIANGLE SHOWN PER CITY OF RALEIGH STREET DESIGN MANUAL BASED ON A 35 MPH ROAD, LEFT TURN 470 LF, RIGHT TURN 340 LF.
- WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OF OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- GENERAL CONTRACTOR SHALL COORDINATE THE RETAINING WALL FENCE, VEHICLE BARRIER, PARKING BOLLARD AND SPECIAL CURB AT DESIGNATED PARKING SPACES AS REQUIRED TO ENSURE PROPER INSTALLATION. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DETAILS.
- GENERAL CONTRACTOR SHALL PERFORM ALL CONSTRUCTION WITHIN THE PROJECT SITE OR WITHIN THE RIGHT OF WAY AS NOTED ON THE PLANS. NO DISTURBANCE SHALL BE MADE TO SURROUNDING PRIVATE PROPERTY. ADDITIONAL EASEMENTS ON ADJACENT PROPERTIES WILL NOT BE ISSUED.

TRAFFIC CONTROL NOTES

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
 - ALL SIGNS SHALL BE MOUNTED WITH 5'-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 2-LB. GALV. STEEL U-CHANNEL POST SET IN 3'-FT DEEP X 12-IN DIA. CONCRETE FOOTING.
 - ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD STANDARDS AND THE PROJECT SPECIFICATIONS.
- | MARKING | NCDOT STD. | SIZE | COLOR |
|-------------------------|-------------------|------|-------|
| PARKING SPACES | | 4-IN | WHT. |
| CROSSWALK | 1205.07(STANDARD) | 8-IN | WHT. |
| NO. PARKING - FIRE LANE | | 4-IN | YEL. |
| SOLID | 1205.01 | 4-IN | WHT. |
- * NO PARKING - FIRE LANE MARKING SHALL CONSIST OF A 4" SOLID YELLOW STRIPE AND 12" HIGH YELLOW TEXT "NO PARKING - FIRE LANE" AT 40' INTERVALS. BASE BID TO INCLUDE 1,000 LF IN ADDITIONAL LOCATIONS TO BE DETERMINED BY ARCHITECT/FIRE MARSHALL. SEE DETAIL SHEET.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC TYPE EXCEPT FOR PARKING SPACES WHICH MAY BE ALKYD-RESIN TYPE PAINT.
 - DESIGN PRIOR TO SIGN INSTALLATION.
 - ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE MUTCD AND THE LOCATIONS APPROVED BY CLH
 - COORDINATE FIRE LANE MARKINGS WITH CITY OF RALEIGH FIRE MARSHAL.

KEY NOTES

- (A) 24" CURB & GUTTER, SEE DETAIL SHEET C-7.3.
- (B) CONCRETE SIDEWALK, SEE DETAIL SHEET C-7.3.
- (C) ACCESSIBLE CURB RAMP, SEE DETAIL SHEET C-7.4.
- (D) ACCESSIBLE PARKING & SIGNAGE, SEE DETAIL SHEET C-7.3.
- (E) CONCRETE PAVEMENT, SEE DETAIL SHEET C7.3.
- (F) CONCRETE PAVERS, SEE DETAIL SHEET C-7.3.
- (G) ACCESSIBLE PARKING CURB RAMP, SEE DETAIL SHEET C-7.3.
- (H) FLAGSTONE PAVERS, SEE SPECIFICATIONS.
- (I) STANDARD METHOD OF ENDING CURB & GUTTER, SEE DETAIL SHEET C-7.3.
- (J) STANDARD CROSSWALK, SEE TRAFFIC CONTROL NOTES.
- (K) PARKING SPACE MARKING, SEE TRAFFIC CONTROL NOTES.
- (L) BIKE RACKS, SEE DETAIL SHEET C-7.3.
- (M) FIRE LANE STRIPING, SEE TRAFFIC CONTROL NOTES.
- (N) PRECAST CONCRETE WHEELSTOP, SEE DETAIL SHEET C-7.3.
- (O) 30' FLAG POLE, SEAMLESS, TAPERED ALUMINUM TUBING, CLEAR ANODIZED FINISH. PROVIDE COMPLETE WITH CLEATS, HALYARDS, TRUCK AND COLLAR. SEE DETAIL SHEET C-7.10.
- (P) SCREEN WALL, SEE ARCHITECTURAL PLANS.
- (Q) SPECIAL PARKING SIGN, SEE DETAIL SHEET C-7.3.
- (R) 1" GRAVEL STRIP, SEE DETAIL SHEET C-7.9.
- (S) MATCH EXISTING CURB AND GUTTER.
- (T) ROLL OUT WASTE CONTAINER TO BE PROVIDED BY OWNER.
- (U) DUKE ENERGY TRANSFORMER PAD, SEE ELECTRICAL PLANS.
- (V) COMMUNICATIONS TOWER, SEE MECHANICAL/ELECTRICAL PLANS.

Davis Kane
 ARCHITECTS, P.A.
 ARCHITECTURE · PLANNING · INTERIORS
 5603-00 OBERLIN ROAD, RALEIGH, NC 27605
 919.833.3737 · WWW.DAVISKANE.COM

CLH DESIGN, PA
 400 REGENCY FOREST DRIVE
 CARY, NORTH CAROLINA 27518
 PHONE: 919.319.6716
 FAX: 919.319.7516
 P.E. C-1586

CITY OF RALEIGH
FIRE STATION NO. 22
REPLACEMENT
 CITY OF RALEIGH CM84-17
 10050 Durant Road, Raleigh, NC 27614

SEALS

PRELIMINARY
 NOT FOR CONSTRUCTION

DKA JOB NUMBER
 1730

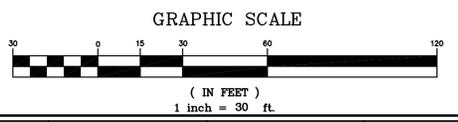
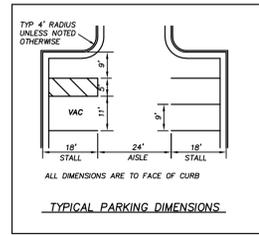
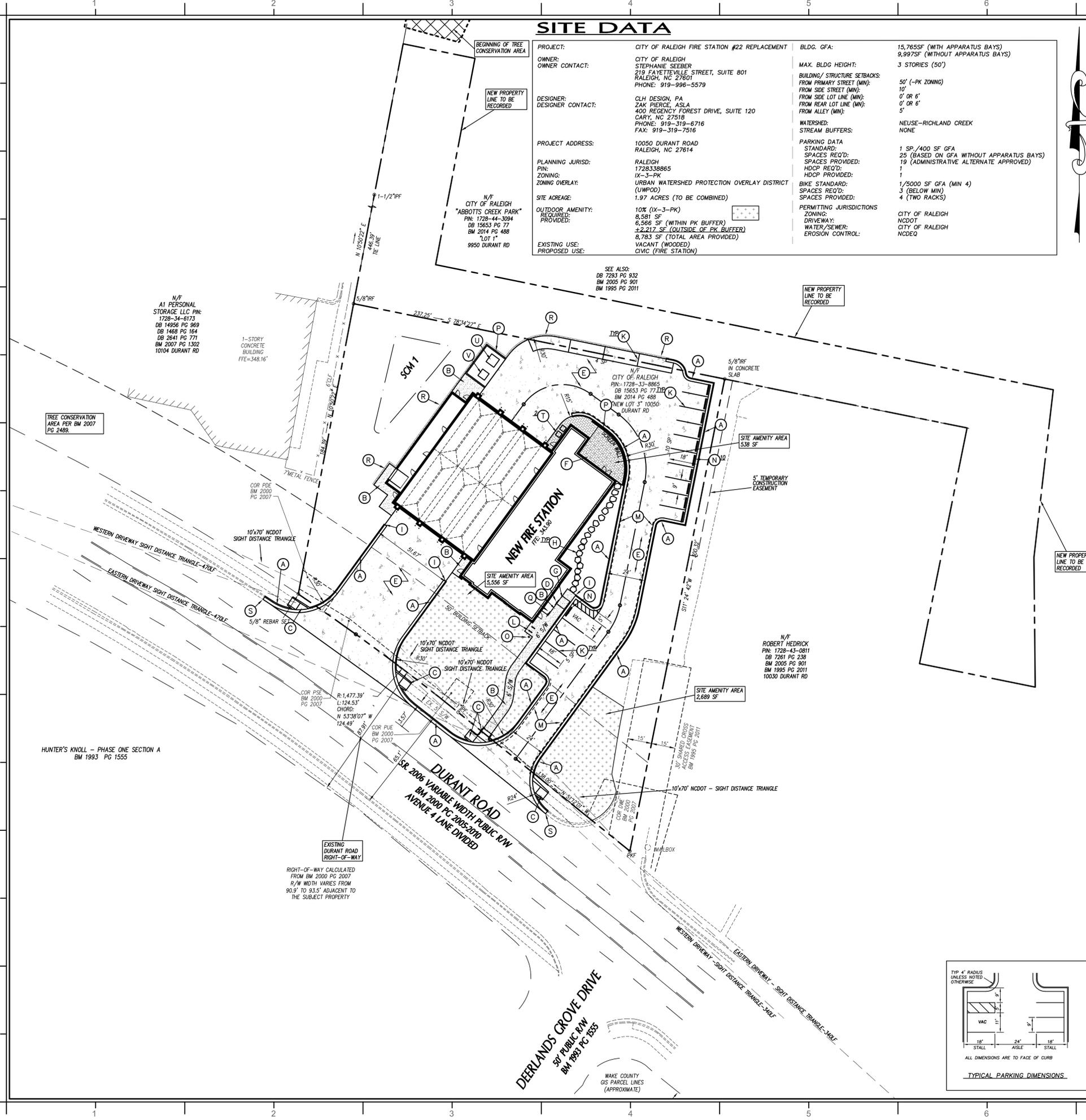
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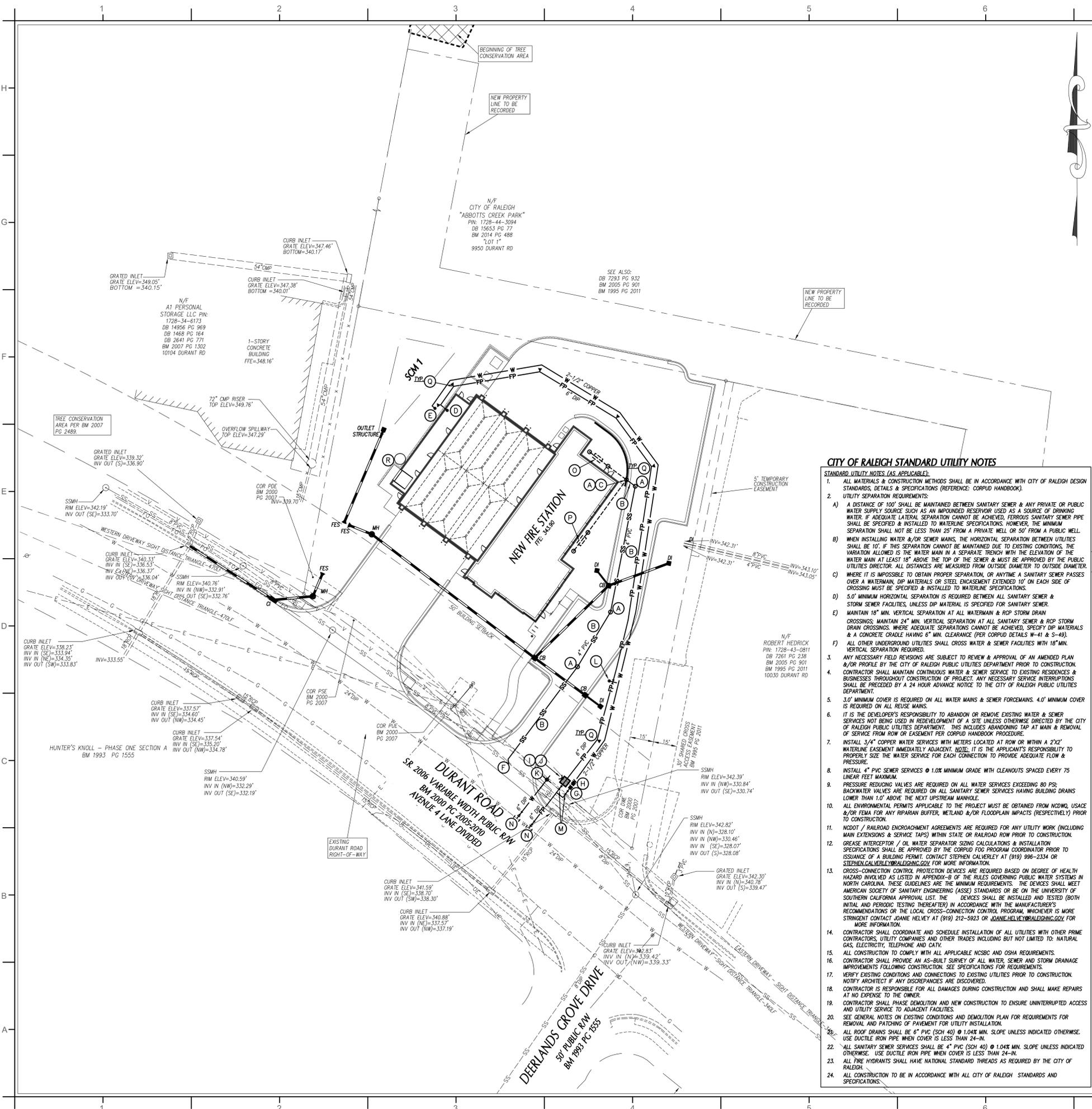
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 Plot Date:

DATE ISSUED
 02/14/2020

SHEET TITLE
 SITE STAKING PLAN

C-1.0





UTILITY LEGEND

	EXISTING	PROPOSED
CHILLED WATER	---CW---	---CW---
ELECTRICAL (OVERHEAD)	---E---	---E---
ELECTRICAL (UNDERGROUND)	---UE---	---UE---
FOUNDATION DRAIN	---FD---	---FD---
GAS	---G---	---G---
SANITARY SEWER	---SS---	---SS---
TELEPHONE (OVERHEAD)	---T---	---T---
TELEPHONE (UNDERGROUND)	---UT---	---UT---
WATER	---W---	---W---
ROOF DRAIN	---RD---	---RD---
FIRE PROTECTION	---FP---	---FP---
SUBDRAIN	---	---
STORM DRAIN	---	---
LIGHT POLE	☆ LP	☆ LP
UTILITY POLE	⊙ PP	⊙ PP
MANHOLE	⊙ MH	⊙ MH
CLEAN OUT	⊙ CO	⊙ CO
DROP INLET, CATCH BASIN	□ DI, CB	□ DI, CB
FIRE HYDRANT	⊙ FH	⊙ FH
WATER VALVE	⊙ WV	⊙ WV
POST INDICATOR VALVE (PIV)	⊙ PIV	⊙ PIV
FIRE DEPARTMENT CONNECTION (FDC)	⊙ FDC	⊙ FDC
THRUST BLOCKING	⊙ TB	⊙ TB
SANITARY SEWER STRUCTURE IDENTIFICATION	⊙ SSI	⊙ SSI

GENERAL UTILITY NOTES

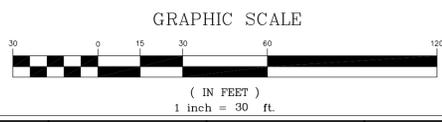
- CONTRACTOR SHALL COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE AND CATV.
- ALL CONSTRUCTION TO COMPLY WITH ALL APPLICABLE NCSBC AND OSHA REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL WATER, SEWER AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION. SEE SPECIFICATIONS FOR REQUIREMENTS.
- VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
- CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES.
- SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
- ALL ROOF DRAINS SHALL BE 6" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON PIPE WHEN COVER IS LESS THAN 24-IN.
- ALL SANITARY SEWER SERVICES SHALL BE 4" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON PIPE WHEN COVER IS LESS THAN 24-IN.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

KEY NOTES

- (A) NEW SANITARY SEWER CLEANOUT. SEE DETAIL SHEET C-7.7.
- (B) NEW 4" PVC (SCH 40) SANITARY SEWER SERVICE LINE AT 1.04% MIN. SLOPE WITH CLEANOUTS AT 75'-FT MAX. SPACING.
- (C) CONNECT UTILITY SERVICE TO BUILDING SEWER WITH NEW CLEANOUT AT 5'-FT OUTSIDE BUILDING. COORDINATE EXACT LOCATION AND INVERT WITH PLUMBING CONTRACTOR.
- (D) EXTEND NEW FIRE PROTECTION SERVICE LINE TO 12-IN ABOVE FINISH FLOOR. COORDINATE EXACT LOCATION WITH F.P. CONTRACTOR.
- (E) EXTEND NEW DOM. WATER SERVICE TO 5'-FT OUTSIDE BUILDING AND CONNECT TO BUILDING SERVICE. COORDINATE EXACT LOCATION WITH P.C.
- (F) SAN. SEWER SERVICE SADDLE.
- (G) 2-IN WATER METER, SEE DETAIL SHEET C-7.6.
- (H) 2" WILKINS 975XL (OR APPROVED EQUAL BY AMES OR WATT) REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA) WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C-7.6. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- (I) 6" WILKINS 4250A (OR APPROVED EQUAL BY AMES OR WATT) REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA) WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C-7.7 FOR ADDITIONAL INFORMATION. PROVIDE TAMPER SWITCHES ON ABOVE GRADE VALVES. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- (J) FIRE DEPARTMENT CONNECTION, LOCATED AT RPDA. SEE DETAIL SHEET C-7.7.
- (K) FIRE HYDRANT, SEE DETAIL SHEET C-7.7.
- (L) POST INDICATOR VALVE, SEE DETAIL SHEET C-7.7.
- (M) GATE VALVE AND VALVE BOX, SEE DETAIL SHEET C-7.6.
- (N) TAPPING SLEEVE AND VALVE, SEE DETAIL SHEET C-7.6.
- (O) GREASE TRAP, SEE PLUMBING PLANS.
- (P) OIL & WATER SEPARATOR, SEE PLUMBING PLANS.
- (Q) THRUST BLOCKING TYP. SEE DETAIL C-7.5.
- (R) STORMWATER HARVESTING CISTERN, REFER TO PLUMBING PLANS.

CITY OF RALEIGH STANDARD UTILITY NOTES

- STANDARD UTILITY NOTES (AS APPLICABLE):
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK).
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'; IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & ROP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & ROP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 4" PVC SEWER SERVICES @ 1.04% MINIMUM GRADE WITH CLEANOUTS SPACED EVERY 75' LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NO-DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERTLEY AT (919) 996-2334 OR STEPHEN.CALVERTLEY@RALAIGH.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT CONTACT JOANIE HEVLEY AT (919) 212-5923 OR JOANIE.HEVLEY@RALAIGH.GOV FOR MORE INFORMATION.
 - CONTRACTOR SHALL COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE, AND CATV.
 - ALL CONSTRUCTION TO COMPLY WITH ALL APPLICABLE NCSBC AND OSHA REQUIREMENTS.
 - CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL WATER, SEWER AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION. SEE SPECIFICATIONS FOR REQUIREMENTS.
 - VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
 - CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
 - CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES.
 - SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
 - ALL ROOF DRAINS SHALL BE 6" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON PIPE WHEN COVER IS LESS THAN 24-IN.
 - ALL SANITARY SEWER SERVICES SHALL BE 4" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON PIPE WHEN COVER IS LESS THAN 24-IN.
 - ALL FIRE HYDRANTS SHALL HAVE NATIONAL STANDARD THREADS AS REQUIRED BY THE CITY OF RALEIGH.
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



Davis Kane
ARCHITECTS, P.A.
ARCHITECTURE · PLANNING · INTERIORS
563-300 OBERLIN ROAD, RALEIGH, NC 27605
919.833.3737 · WWW.DAVISKANE.COM

CLH DESIGN, PA
402 Progress Pointe Drive
Cary, North Carolina 27518
Phone: (919) 352-4770
Fax: (919) 318-7618
P.C. C-1588

PROJECT INFORMATION

CITY OF RALEIGH
FIRE STATION NO. 22
REPLACEMENT
CITY OF RALEIGH CM84-17
10050 Durant Road, Raleigh, NC 27614

SEALS

PRELIMINARY
NOT FOR CONSTRUCTION

DKA JOB NUMBER
1730

REVISIONS

PA:
PM: ZRP
Drawn By: ST, YLA, DAL
Plot Date:

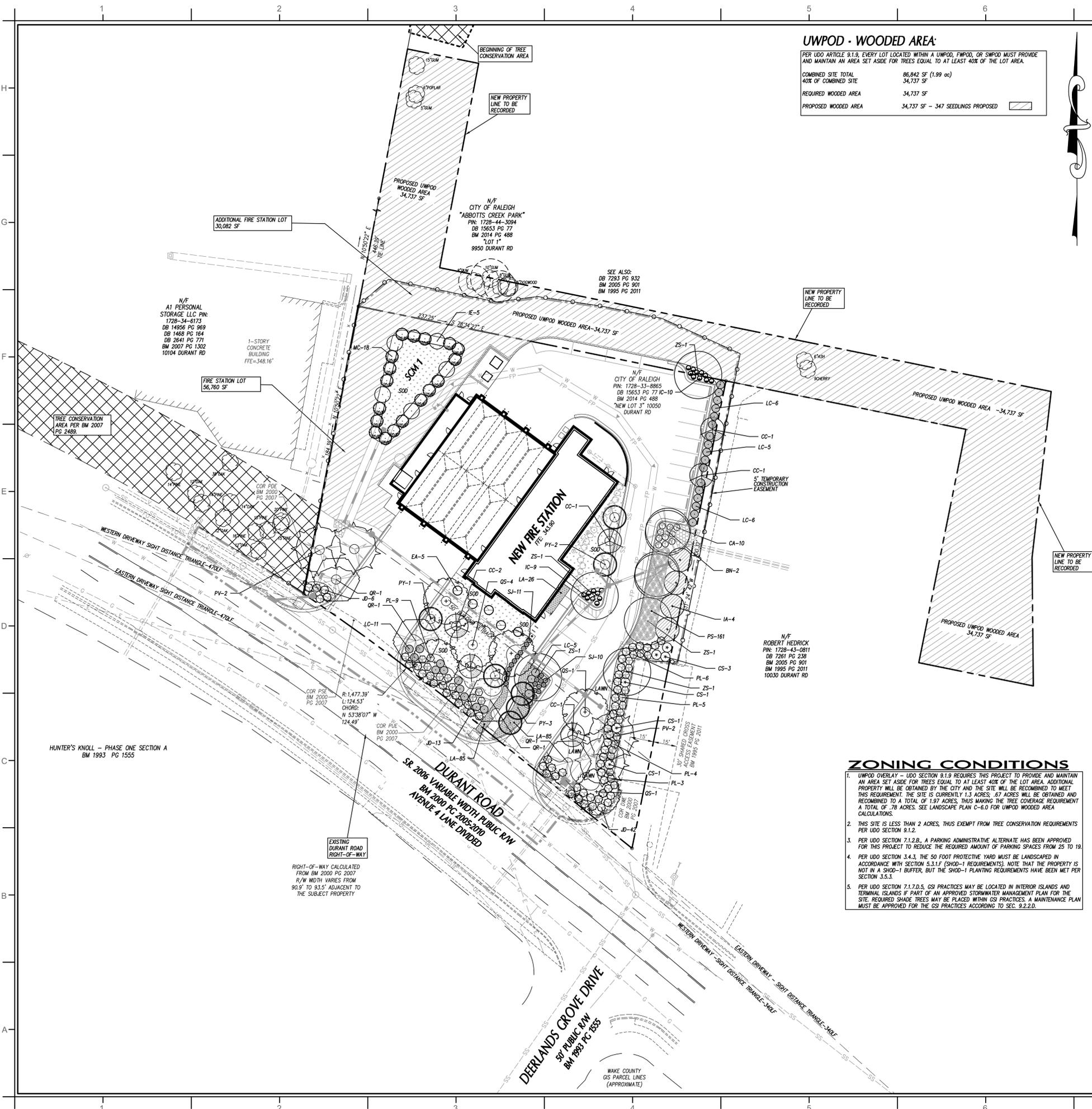
DATE ISSUED

02/14/2020

SHEET TITLE

SITE UTILITY PLAN

C-5.0



UNPOD - WOODED AREA:

PER UDO ARTICLE 9.1.9, EVERY LOT LOCATED WITHIN A UNPOD, FWOOD, OR SWPOD MUST PROVIDE AND MAINTAIN AN AREA SET ASIDE FOR TREES EQUAL TO AT LEAST 40% OF THE LOT AREA.

COMBINED SITE TOTAL	86,842 SF (1.99 ac)
40% OF COMBINED SITE	34,737 SF
REQUIRED WOODED AREA	34,737 SF
PROPOSED WOODED AREA	34,737 SF - 347 SEEDLINGS PROPOSED

LANDSCAPE NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS SHOWN ON THE PLAN.
- LAWN AREAS SHALL BE SEEDDED WITH COMMON BERMAUDA GRASS 95% COVERAGE (BASED ON A PER SQUARE YARD SAMPLE) SHALL BE ATTAINED PRIOR TO FINAL INSPECTION.
- ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERMEN AND THE WRITTEN SPECIFICATIONS.
- ALL PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 3" (AFTER COMPACTION) OF TRIPLE SHREDDED HARDWOOD MULCH. ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED.
- ESTABLISH POSITIVE DRAINAGE IN ALL PLANTING BEDS AND AWAY FROM BUILDINGS.
- APPLY PRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT AT MANUFACTURER'S RECOMMENDED RATE PRIOR TO INSTALLATION OF MULCH.
- DO NOT INSTALL PLANT MATERIAL IN IMPERVIOUS SOILS, (i.e. HOLES WHICH, WHEN FILLED WITH WATER, DO NOT COMPLETELY DRAIN WITHIN TWO HOURS.)
- ALL SODDED AREAS SHALL BE TIF TUF BERMAUDAGRASS.
- ANY TREE WRAP SHALL BE REMOVED IMMEDIATELY AFTER INSTALLATION.
- SEE SPECIFICATIONS REGARDING WARRANTY/MAINTENANCE REQUIREMENTS FOR ALL PLANTS, SOO, AND LAWN SEEDING.
- DEAD OR DETERIORATING SCREENING SHALL BE REPLACED WITHIN SIX MONTHS OR DURING NEXT PLANTING SEASON.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY.

LANDSCAPE CALCULATIONS (IX-3-PK ZONING)

VEHICULAR SURFACE AREA PLANTING REQUIREMENTS

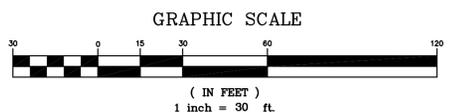
PARKING LOT:			
SQUARE FT. OF PROPOSED VSA	= 18,961 SQUARE FT.		
1 TREE PER 2000 SF VSA	= 10 TREES		
PLANTINGS PROVIDED:			
NEW TREES	= 10+ TREES		
STREET PROTECTIVE YARD - 136.12 LF (EXCLUDING DRIVEWAYS)			
PER PK ZONING, 50' STREET YARD BUFFER SHALL MEET SHOD-1 REQUIREMENTS:			
DECIDUOUS SHADE TREES: 7 PER 100 LF			
EVERGREEN SHADE TREES: 3 PER 100 LF			
UNDERSTORY TREES: 6 PER 100 LF			
SHRUBS: 32 PER 100 LF			
PLANTINGS REQUIRED:			
DECIDUOUS: 10	EVERGREEN: 4	UNDERSTORY TREES: 8	SHRUBS: 43
% DECIDUOUS (MAX): 40%			
PLANTINGS PROVIDED:			
DECIDUOUS: 10	EVERGREEN: 4	UNDERSTORY TREES: 8	SHRUBS: 53
% DECIDUOUS (MAX): 40%			
STREETSCAPE - 136.12 LF (EXCLUDING DRIVEWAYS)			
40' O.C. CANOPY TREES ALONG STREET FRONTAGE WHERE OVERHEAD UTILITIES EXIST, 1 UNDERSTORY TREE SHALL BE PLANTED EVERY 20 FEET ON CENTER, ON AVERAGE.			
PLANTINGS REQUIRED:			
UNDERSTORY TREES: 7			
PLANTINGS PROVIDED:			
UNDERSTORY TREES: 0			

PLANT LIST

KEY	QTY	PLANT NAME	MIN. SIZE	REMARKS
TREES				
BN	2	RIVER BIRCH <i>Betula nigra 'Dura Heat'</i>	3" CAL. 10' MIN. HT.	LOOSELY STAKED, STRAIGHT TRUNK
CC	6	'HEARTS OF GOLD' REDBUD <i>Cercis canadensis 'Hearts of Gold'</i>	1 1/2" CAL. 6' MIN. HT.	B&B, STRAIGHT TRUNK FULL CROWN
IA	4	SAVANNAH HOLLY <i>Ilex x attenuata 'Savannah'</i>	1 1/2" CAL. 6' MIN. HT.	STRAIGHT TRUNK MATCHED SPECIMENS
IE	5	EMILY BRUNER HOLLY <i>Ilex Emily Bruner</i>	1 1/2" CAL. 6' MIN. HT.	STRAIGHT TRUNK MATCHED SPECIMENS
PV	4	VIRGINIA PINE <i>Pinus virginiana</i>	3" CAL. MIN. 10' MIN. HT.	STRAIGHT TRUNK MATCHED SPECIMENS
PY	7	YOSHINO CHERRY <i>Prunus x yedoensis 'Yoshino'</i>	1 1/2" CAL. 10' MIN. HT.	STRAIGHT TRUNK MATCHED SPECIMENS
QR	4	NORTHERN RED OAK <i>Quercus rubra</i>	3" CAL. MIN. 10' MIN. HT.	B&B, STRAIGHT TRUNK FULL CROWN
QS	5	SHUMARD OAK <i>Quercus shumardii</i>	3" CAL. 10' MIN. HT.	B&B, STRAIGHT TRUNK FULL CROWN
ZS	5	VILLAGE GREEN ZELKOVA <i>Zelkova serrata 'Village Green'</i>	3" CAL. MIN. 10' MIN. HT.	B&B, STRAIGHT TRUNK FULL CROWN
SHRUBS & GROUNDCOVERS				
CA	10	'HUMMINGBIRD' CLETHRA <i>Clethra alnifolia 'Hummingbird'</i>	18"-24" HT. 3-GAL. CONT.	FULL PLANTS MATCHING, 4" O.C.
CS	6	SUTSUJOKKKA CAMELLIA <i>Camellia sasanqua 'Sutsujokkka'</i>	24"-36" HT. 3-GAL. CONT.	FULL PLANTS MATCHING, 8" O.C.
EA	5	DWARF BURNING BUSH <i>Euonymus alatus 'COMPACTUS'</i>	18"-24" HT. CONT.	FULL PLANTS MATCHING, 6" O.C.
IC	19	SOFT TOUCH HOLLY <i>Ilex crenata 'Soft Touch'</i>	18" HT. CONT.	FULL 4" O.C.
JD	61	PARSON'S JUNIPER <i>Juniperus horizontalis 'Parsoni'</i>	24" SPR./HT. CONT.	FULL 8" O.C.
LA	144	ENGLISH LAVENDER <i>Lavandula angustifolia 'Blue Cushion'</i>	1-GAL. CONT. CONT.	FULL PLANTS MATCHING, 24" O.C.
LC	33	CHINESE FLOWER <i>Loropetalum chinense var. Ruby 'Daruma'</i>	18" HT. MIN. CONT.	FULL 4" O.C.
MC	18	WAX MYRTLE <i>Myrica caribaea</i>	24"-36" HT. 3-GAL. CONT.	CONT., FULL 8" O.C.
PL	27	DWARF CHERRY LAUREL <i>Prunus laurocerasus 'Otto Luyken'</i>	18" HT./SPR. CONT.	CONT., FULL 5" O.C.
PS	161	RED WINGS CREEPING PHLOX <i>Phlox subulata 'Red Wings'</i>	1-GAL. CONT. CONT.	FULL PLANTS MATCHING, 24" O.C.
SJ	21	SPIREA <i>Spiraea japonica 'Little Princess'</i>	24" SPR. CONT.	5 GAL. CONT., FULL 3" O.C.

ZONING CONDITIONS

- UNPOD OVERLAY - UDO SECTION 9.1.9 REQUIRES THIS PROJECT TO PROVIDE AND MAINTAIN AN AREA SET ASIDE FOR TREES EQUAL TO AT LEAST 40% OF THE LOT AREA. ADDITIONAL PROPERTY WILL BE OBTAINED BY THE CITY AND THE SITE WILL BE RECOMBINED TO MEET THIS REQUIREMENT. THE SITE IS CURRENTLY 1.3 ACRES; 67 ACRES WILL BE OBTAINED AND RECOMBINED TO A TOTAL OF 1.97 ACRES, THIS MAKING THE TREE COVERAGE REQUIREMENT A TOTAL OF .78 ACRES. SEE LANDSCAPE PLAN C-6.0 FOR UNPOD WOODED AREA CALCULATIONS.
- THIS SITE IS LESS THAN 2 ACRES, THIS EXEMPT FROM TREE CONSERVATION REQUIREMENTS PER UDO SECTION 9.1.2.
- PER UDO SECTION 7.1.2.B, A PARKING ADMINISTRATIVE ALTERNATE HAS BEEN APPROVED FOR THIS PROJECT TO REDUCE THE REQUIRED AMOUNT OF PARKING SPACES FROM 25 TO 19.
- PER UDO SECTION 3.4.3, THE 90 FOOT PROTECTIVE YARD MUST BE LANDSCAPED IN ACCORDANCE WITH SECTION 5.1.1.F (SHOD-1 REQUIREMENTS). NOTE THAT THE PROPERTY IS NOT IN A SHOD-1 BUFFER, BUT THE SHOD-1 PLANTING REQUIREMENTS HAVE BEEN MET PER SECTION 3.5.3.
- PER UDO SECTION 7.1.7.D.5, GSI PRACTICES MAY BE LOCATED IN INTERIOR ISLANDS AND TERMINAL ISLANDS IF PART OF AN APPROVED STORMWATER MANAGEMENT PLAN FOR THE SITE. REQUIRED SHADE TREES MAY BE PLACED WITHIN GSI PRACTICES. A MAINTENANCE PLAN MUST BE APPROVED FOR THE GSI PRACTICES ACCORDING TO SEC. 9.2.2.D.



PA:
PM: ZRP
Drawn By: ST, YLA, DAL
Plot Date:

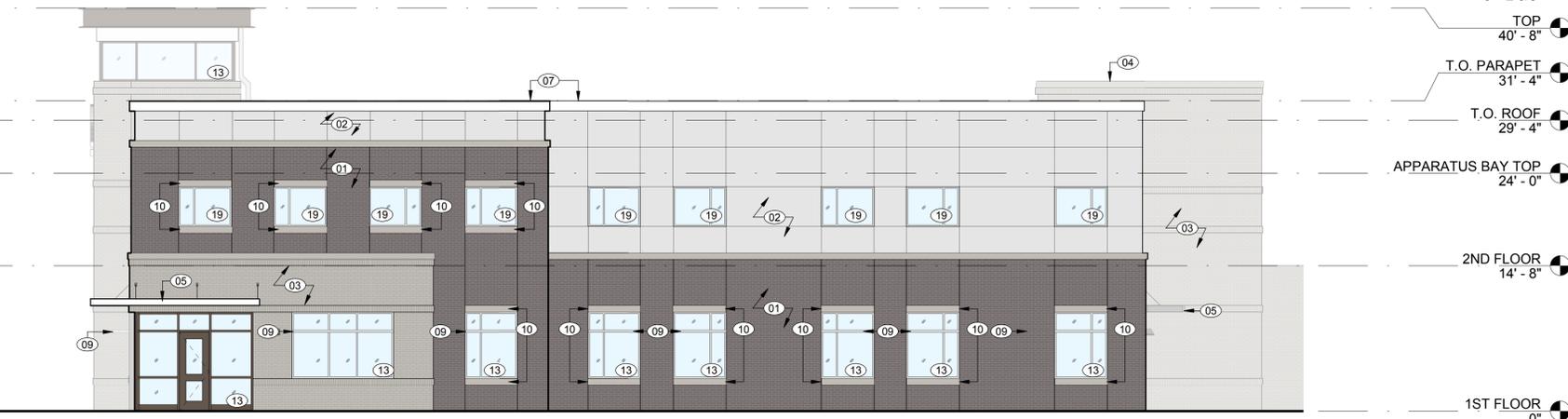
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Project Average Grade Information

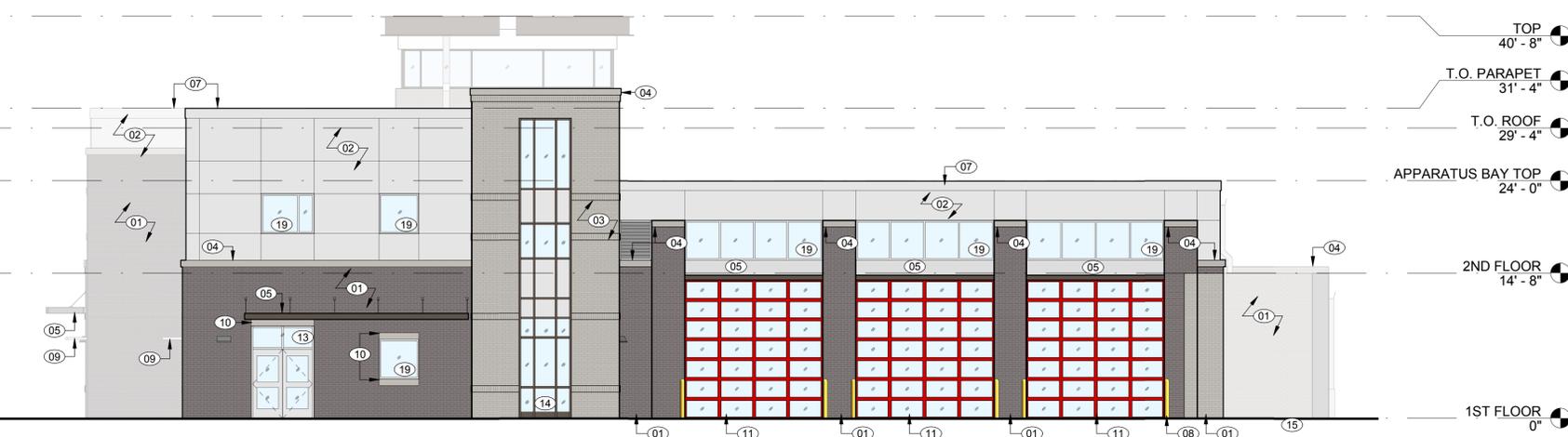
The restrictive average grades are 343.8 for post development and 340.7 for predevelopment with a 343.9 Finish Floor for the first floor of the facility.



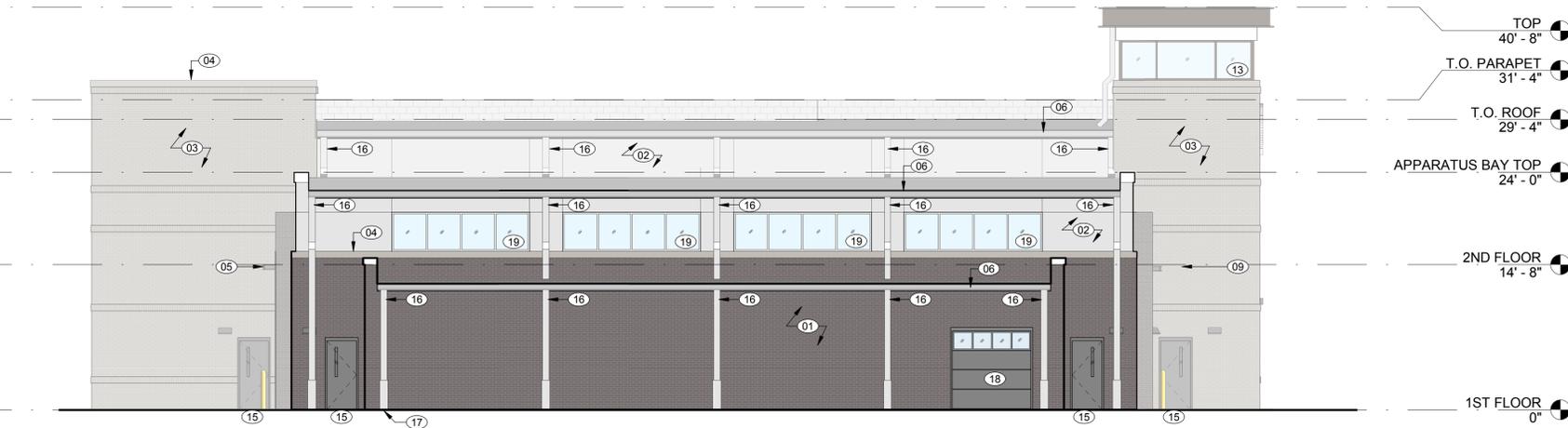
G1 SOUTH ELEVATION
1/8" = 1'-0"



E1 EAST ELEVATION
1/8" = 1'-0"



C1 NORTH ELEVATION
1/8" = 1'-0"



A1 WEST ELEVATION
1/8" = 1'-0"

BUILDING ELEVATION NOTES:

- FOR SYMBOL LEGEND SEE A-0.0.
- METAL PANEL JOINT LOCATIONS SHALL MATCH BRICK VENEER CONTROL JOINT LOCATIONS AS SHOWN ON THE ELEVATIONS.
- PROVIDE CONTROL JOINTS (CJ) IN MASONRY CONSTRUCTION AS INDICATED
- PROVIDE CONTROL JOINTS (CJ) AT ALL INTERIOR CORNERS.
- ALL DOWNSPOUT LOCATIONS SHALL BE COORDINATED WITH STORMWATER SYSTEM CONNECTIONS. SEE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR TO COORDINATE LIGHT LOCATIONS WITH OPENINGS AND VERIFY WITH ARCHITECT PRIOR TO INSTALLATION.
- AIR BARRIER AND ASSOCIATED FLASHING SHALL BE CONTINUOUS AND UNBROKEN AT ALL SURFACES OF WALL. MEMBRANE TO BE FLASHED TO ALL OTHER COMPONENTS AND ASSEMBLIES TO PROVIDE AIR-TIGHT CONDITION.

BUILDING ELEVATION KEY NOTES:

NOTE: SEE ELEVATIONS FOR KEYED ITEM LOCATIONS. KEY NOTES SUPPLEMENT INFORMATION FOUND IN THE DRAWINGS.

- (01) BRICK VENEER, COLOR 1
- (02) METAL PANEL
- (03) BRICK VENEER, COLOR 2
- (04) CAST CONCRETE COPING
- (05) PREFINISHED EXTRUDED ALUMINUM CANOPY
- (06) ALUMINUM GUTTER
- (07) METAL COPING
- (08) BOLLARD, TYP.
- (09) ALUMINUM SUNSHADE
- (10) CAST CONCRETE HEAD/SILL
- (11) COILING ROLL-UP DOOR
- (12) 4 PANEL FOLDING DOOR
- (13) STOREFRONT WINDOW/DOOR SYSTEM
- (14) CURTAIN WALL WINDOW/DOOR SYSTEM
- (15) HM DOOR
- (16) DOWNSPOUT
- (17) DOWNSPOUT BOOT, TYP.
- (18) OVERHEAD ROLLING DOOR
- (19) PRE-FABRICATED ALUMINUM WINDOW

PROJECT INFORMATION

CITY OF RALEIGH
FIRE STATION NO. 22
REPLACEMENT
CITY OF RALEIGH CM844-17
10050 Durant Road, Raleigh, NC 27614

SEALS

DKA JOB NUMBER
1730

REVISIONS

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PM: JE
Drawn By: MS
Plot Date: 7/12/2019 5:48:40 PM

DATE ISSUED
60% CONSTRUCTION DOCUMENTS
7/12/2019

SHEET TITLE
OVERALL ELEVATIONS

A-2.0